



## Arlington Zoning Board of Appeals

**Date:** Tuesday, May 28, 2024  
**Time:** 7:30 PM  
**Location:** Conducted by Remote Participation  
**Additional Details:**

### **Agenda Items**

#### **Administrative Items**

1. **Conducted by Remote Participation**

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the Arlington Zoning Board of Appeals meetings shall be physically closed to the public to avoid group congregation until further notice. The meeting shall instead be held virtually using Zoom.

Please read Governor Healey's Executive Order Suspending Certain Provision of Open Meeting Law for more information regarding virtual public hearings and meetings: [Massachusetts Open Meeting Law](#)

For additional information on Arlington's Zoning Board please visit their website. Reference material for this meeting will be available 48 business hours prior to the meeting and may be viewed on the Board's Agendas and Minutes page.

Per Board Rules and Regulations, public comments will be accepted during the public comment periods designated on the agenda. Written comments may be provided by email to [ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us) 48 hours prior to the start of the meeting.

You are invited to a Zoom meeting.

When: May 28, 2024 07:30 PM Eastern Time (US and Canada)

Register in advance for this meeting:

<https://town-arlington-ma-us.zoom.us/meeting/register/tZ0odOirrDsuEtG1G81RDyrmGKXHqHUEusGr>

After registering, you will receive a confirmation email containing information about joining the meeting.

#### **Hearings**

2. **Docket #3790 38-40 Milton Street (continuance)**
3. **Docket #3787 84 Hillside Avenue (continuance)**

**Meeting Adjourn**



## **Town of Arlington, Massachusetts**

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### **Conducted by Remote Participation**

#### **Summary:**

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the Arlington Zoning Board of Appeals meetings shall be physically closed to the public to avoid group congregation until further notice. The meeting shall instead be held virtually using Zoom.

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## Town of Arlington, Massachusetts

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### Docket #3790 38-40 Milton Street (continuance)

#### ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	#3790_38_Milton_Street_Legal_ad.pdf	#3790 38 Milton Street Legal ad
▢ Reference Material	#3790_38_Milton_Street_Application.pdf	#3790 38 Milton Street Application
▢ Reference Material	#3790_38-40_Milton_street_-_Plot_Plan.pdf	#3790 38-40 Milton street - Plot Plan
▢ Reference Material	38-40_Milton_Street_Updated_plans_4-30-2024.pdf	38-40 Milton Street Updated plans 4-30-2024
▢ Reference Material	ZBA_Memo_38-40_Milton_Street.pdf	ZBA memo 38-40 Milton Street





Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

## LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **38-40 Milton Street, LLC** of Arlington, MA. on March 19, 2024, a petition seeking to alter their property located at **38-40 Milton Street - Block Plan 003.0-0004-0022.0**. Said petition would require a **Special Permit** under **Section 5.3.9 D** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M on April 30, 2024, as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**  
<https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

**For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

**DOCKET NO 3790**

Zoning Board of Appeals  
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**



## SP-24-7

### Special Use Permit Application (ZBA)

Status: Active

Submitted On: 3/19/2024

### Primary Location

38 MILTON ST

Arlington, MA 02474

### Owner

38-40 MILTON STREET LLC

Dudley court 6 ARLINGTON, MA 02476

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## Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw. \*\*\*Please LIST BYLAW(S)\*\*\*\* ?

5.3.9 D

**Explain why the requested use is essential or desirable to the public convenience or welfare.\***

Updating the envolpe of the house to modern times.

**Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.\***

Enclosing the first floor porch will have no affect on traffic congestion or pedestrian safety.

**Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.\***

No additional plumbing or drainage will be added because of this therfor not adding strain to any municipal system.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.\*

2nd floor is already nonconforming. This is making the two units uniform

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.\*

Minor exterior improvements.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.\*

It will improve the neighborhood with a modern look and provide the occupants a larger space that can be used year round vs. 4-6 months.

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## Dimensional and Parking Information

Present Use/Occupancy \*

Open Porch

Proposed Use/Occupancy \*

Enclosing the porch and squaring off

Existing Number of Dwelling Units\*

2

Proposed Number of Dwelling Units\*

2

Existing Gross Floor Area (Sq. Ft.)\*

2000

Proposed Gross Floor Area (Sq. Ft.)\*

2150

Existing Lot Size (Sq. Ft.)\*

4950

Proposed Lot Size (Sq. Ft.)\* ?

4950

Minimum Lot Size required by Zoning\*

6000

Existing Frontage (ft.)\*

55

Proposed Frontage (ft.)\*

55

Minimum Frontage required by Zoning\*

60

Existing Floor Area Ratio\*

0.4

Proposed Floor Area Ratio\*

0.43

Max. Floor Area Ratio required by Zoning\*

0

Existing Lot Coverage (%)\*

25

Proposed Lot Coverage (%)\*

25

Max. Lot Coverage required by Zoning\*

0

Existing Lot Area per Dwelling Unit (Sq. Ft.)\*

2475

Proposed Lot Area per Dwelling Unit (Sq. Ft.)\*

2475

Minimum Lot Area per Dwelling Unit required by Zoning\*

0

Existing Front Yard Depth (ft.)\*

10.6

Proposed Front Yard Depth (ft.)\*

10.6

Minimum Front Yard Depth required by Zoning\*

0

Existing Left Side Yard Depth (ft.)\*

5.9

Proposed Left Side Yard Depth (ft.)\*

5.9

Minimum Left Side Yard Depth required by Zoning\*

0

Existing Right Side Yard Depth (ft.)\*

22.9

Proposed Right Side Yard Depth (ft.)\*

22.9

Minimum Right Side Yard Depth required by Zoning\*

0

Existing Rear Yard Depth (ft.)\*

23

Proposed Rear Yard Depth (ft.)\*

23

Minimum Rear Yard Depth required by Zoning\*

0

Existing Height (stories)

2

Proposed Height (stories)\*

2

Maximum Height (stories) required by Zoning\*

0

Existing Height (ft.)\*

33

Proposed Height (ft.)\*

33

Maximum Height (ft.) required by Zoning\*

0

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)\*

2950

Proposed Landscaped Open Space (Sq. Ft.)\*

3100

Existing Landscaped Open Space (% of GFA)\*

59

Proposed Landscaped Open Space (% of GFA)\*

62

Minimum Landscaped Open Space (% of GFA)  
required by Zoning\*

0

Existing Usable Open Space (Sq. Ft.)\*

2950

Proposed Usable Open Space (Sq. Ft.)\*

3100

Existing Usable Open Space (% of GFA)\*

59

Proposed Usable Open Space (% of GFA)\*

62

Minimum Usable Open Space required by Zoning\*

0

Existing Number of Parking Spaces\*

4

Proposed Number of Parking Spaces\*

4

Minimum Number of Parking Spaces required by  
Zoning\*

0

Existing Parking area setbacks

0

Proposed Parking area setbacks \*

0

Minimum Parking Area Setbacks required by  
Zoning\*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces\*

0

Minimum Number of Loading Spaces required by  
Zoning\*

0

Existing Slope of proposed roof(s) (in. per ft.)\*

8

Proposed Slope of proposed roof(s) (in. per ft.)\*

8

Minimum Slope of Proposed Roof(s) required by Zoning\*

0

Existing type of construction\*

Two Family Home

Proposed type of construction\*

Two Family Home

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## Open Space Information

Existing Total Lot Area\*

4950

Proposed Total Lot Area\*

4950

Existing Open Space, Usable\*

3150

Proposed Open Space, Usable\*

3000

Existing Open Space, Landscaped\*

3150

Proposed Open Space, Landscaped\*

3000

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## Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

1000

Basement or Cellar, Proposed Gross Floor Area

1000

1st Floor, Existing Gross Floor Area

1000

New Field

—

1st Floor, Proposed Gross Floor Area

1150

2nd Floor, Existing Gross Floor Area

1000

2nd Floor, Proposed Gross Floor Area

1000

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

100

Attic, Proposed Gross Floor Area

100

Parking Garages, Existing Gross Floor Area ?

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies,  
Existing Gross Floor Area

150

All weather habitable porches and balconies,  
Proposed Gross Floor Area

100

Total Existing Gross Floor Area

3250

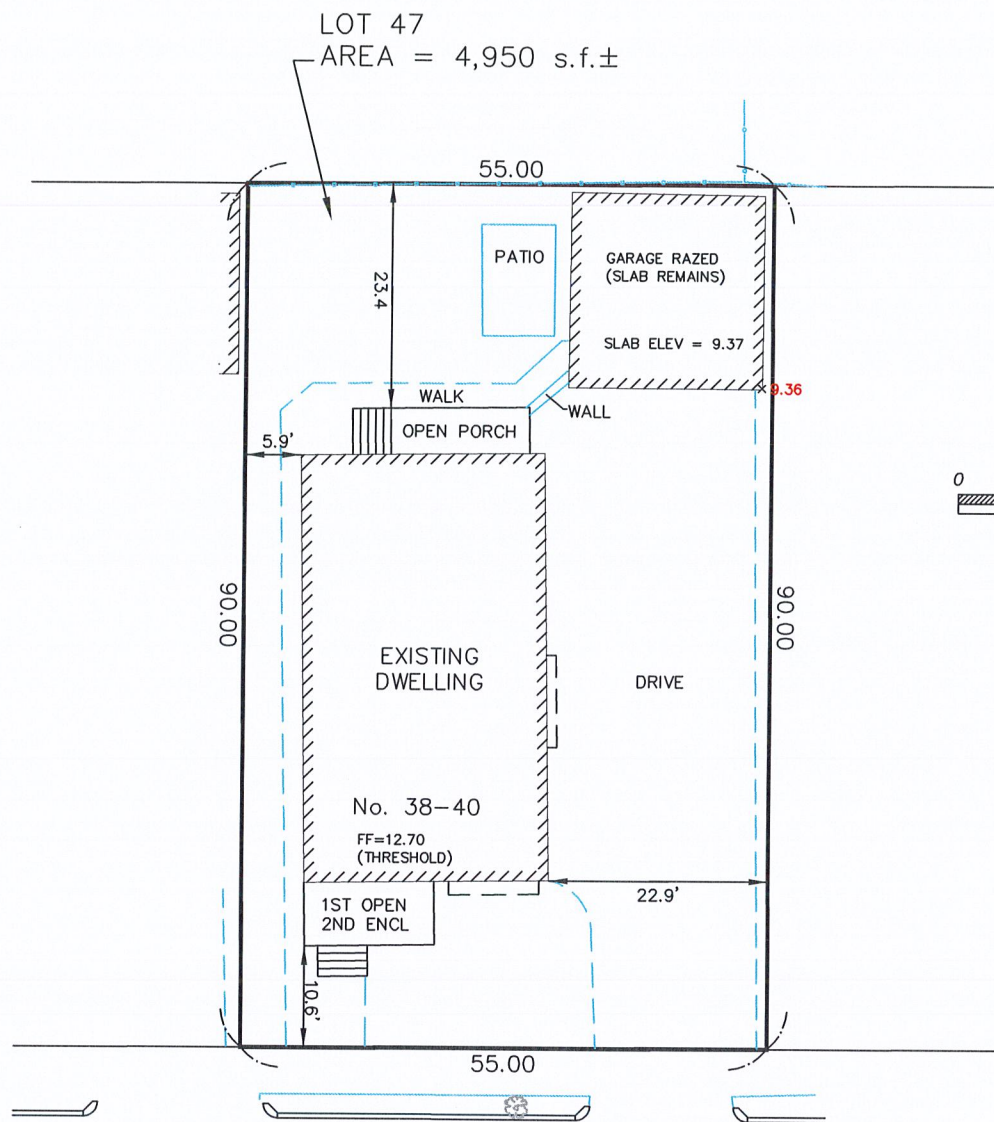


Total Proposed Gross Floor Area

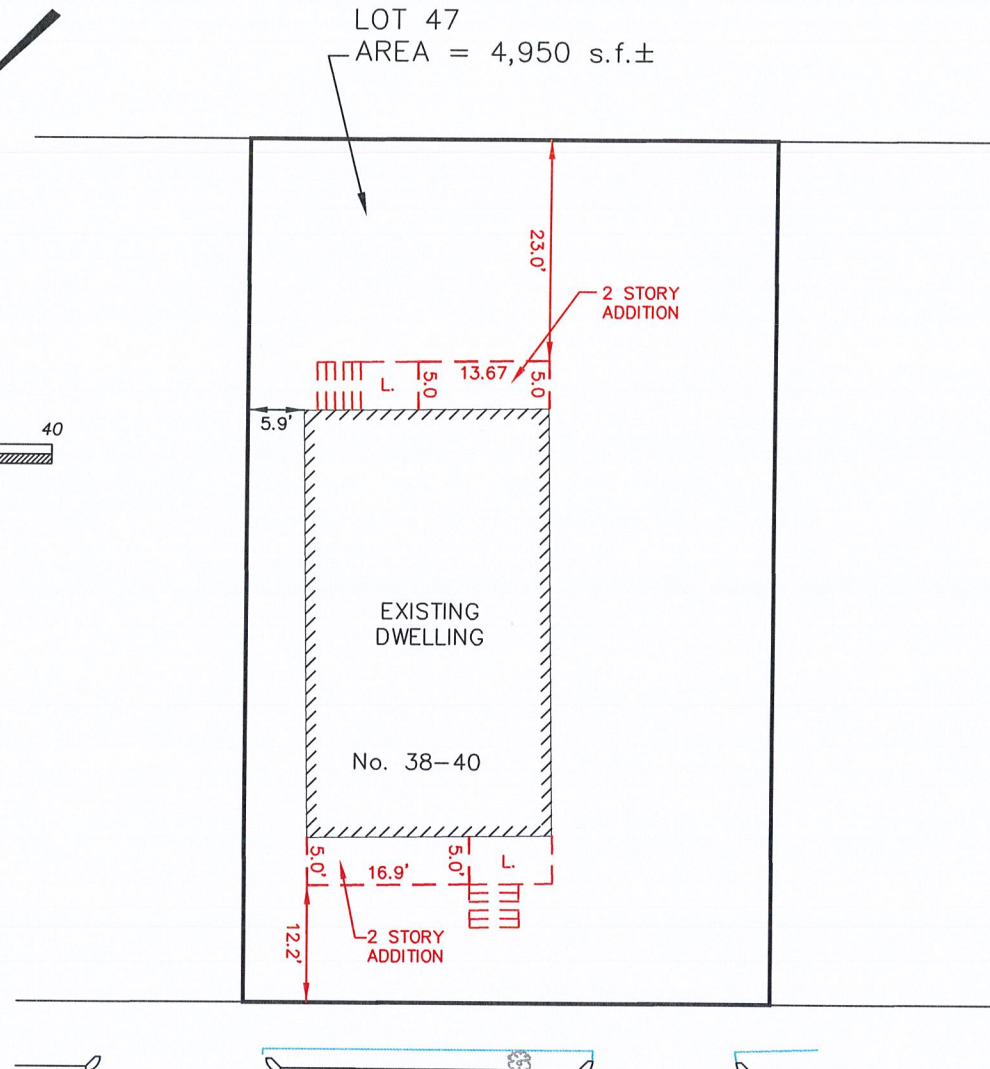
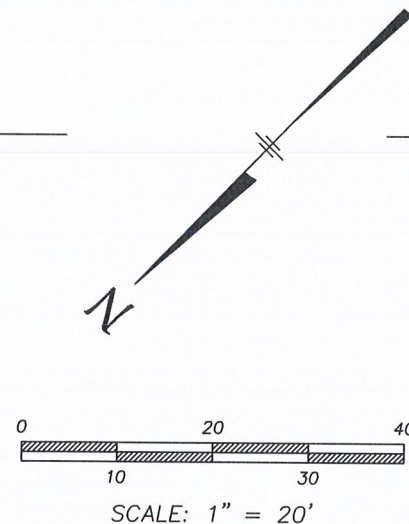
3350







MILTON STREET




MILTON STREET

SURVEYOR'S CERTIFICATION:

TO: BRENDEN LYONS

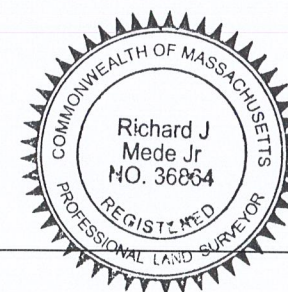
I CERTIFY THAT THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE GENERALLY ACCEPTABLE PRACTICES OF LAND SURVEYORS IN THE COMMONWEALTH OF MASSACHUSETTS FOR A PLAN AND SURVEY OF THIS TYPE. THIS CERTIFICATION IS MADE ONLY TO THE ABOVE NAMED INDIVIDUAL(S) AND IS NULL AND VOID UPON ANY FURTHER CONVEYANCE OF THIS PLAN.

THE FIELD WORK WAS COMPLETED ON: APRIL 23, 2023  
DATE OF PLAN: AUGUST 11, 2023 (ADDITION)

  
RICHARD J. MEDE, JR. P.L.S.  
13 of 34

08/11/2023

DATE:



NOTE: LOCATION OF FENCES SHOWN ARE APPROXIMATE AND FOR AESTHETIC PURPOSES ONLY. A DETAILED LOCATION WOULD BE REQUIRED FOR THE EXACT LOCATION.

CURRENT OWNER: PATERICA BENCH

TITLE REFERENCE: BK 15716 PG 171

PLAN REFERENCE: BK 321 PLAN 13 & LCC 3413

THIS PLAN WAS PREPARED WITHOUT A FULL TITLE EXAMINATION AND IS NOT A CERTIFICATION TO THE TITLE OF THE LANDS SHOWN. THE OWNERSHIP OF ABUTTING PROPERTIES IS ACCORDING TO ASSESSORS RECORDS. THIS PLAN MAY OR MAY NOT SHOW ALL ENCUMBRANCES WHETHER EXPRESSED, IMPLIED OR PRESCRIPTIVE.

PREPARED BY:



PREPARED FOR:

BRENDEN LYONS

DRAWN	CHECKED	FILE No.
CAV	RJM	21911

CERTIFIED PLOT PLAN  
38-40 MILTON STREET  
ARLINGTON, MA.  
(MIDDLESEX COUNTY)



**Proposed Addition / Renovation**  
**38-40 Milton Street**  
**Arlington, MA 02474**

## DRAWING INDEX

T-1	COVER SHEET
A-1	PROPOSED PLANS
A-2	PROPOSED PLANS
A-3	PROPOSED ELEVATIONS
A-4	PROPOSED FRAMING PLANS
A-5	PROPOSED FRAMING PLANS
A-6	PROPOSED FRAMING PLANS AND DETAILS
A-7	TYPICAL TJI NOTES AND DETAILS
A-8	CONSTRUCTION DETAILS
A-9	WALL TYPES AND NOTES

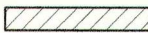








## SCOPE OF WORKS

PROPOSED RENOVATION OF EXISTING TWO FAMILY HOME.  
PROPOSED ADDITION N THE FRONT AND REAR ENCLOSING  
EXISTING STAIRS AND ENTRY DECK TO BE INCLUDED INSIDE  
THERMAL ENVELOPE. BUILDING EXISTING FOOTPRINT TO  
REMAIN. PROPOSED 4 BEDROOM 3.5 BATHROOM PER UNIT  
EXTERIOR COLORS AND FINISHES SELECTED BY OWNER -  
SEE ELEVATIONS FOR BASIS OF DESIGN. SEE WALL TYPES  
FOR MINIMUM R-VALUES - HERS RATING TO BE DONE BY  
OTHERS. KITCHEN DESIGN AND FINISHES TO BE SELECTED  
BY OTHERS.

## GENERAL NOTES

1. THE CONTRACTOR SHALL PAY FOR ALL PERMITS REQUIRED FOR THIS PROJECT
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.
3. ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
4. ALL ELECTRICAL & PLUMBING WORKS SHALL BE PERFORMED BY LICENSE ELECTRICIAN & LICENSE PLUMBER IN PERFORMANCE TO THE MASSACHUSETTS STATE BUILDING CODE.
5. PRIOR TO SUBMITTING A BID, THE GENERAL CONTRACTOR SHALL VISIT AND THOROUGHLY ACQUAINTED WITH THE PROJECT.
6. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND FIELD CONDITIONS TO THE ARCHITECT IMMEDIATELY
7. THE CONTRACTOR SHALL MAKE APPLICATION FOR ALL UTILITIES AND SERVICES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING OF HIS WORK. KEEP THE SITE CLEAR FOR ACCESS BY THE OWNER AND HIS FORCES DURING THE COURSE OF THE JOB.
9. THE CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT WHEN THE WORK IS READY FOR A FINAL PUNCH LIST
10. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT
11. THE CONTRACTOR SHALL WARRANT HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.
12. DESIGN: IT IS INCUMBENT UPON THE CONTRACTOR TO BUILD THE PROJECT AS DESIGNED. ATTENTION SHOULD BE PAID TO THE DETAILS AS WELL AS THE OVERALL DESIGN. IF THERE ARE ANY QUESTIONS OR CHANGES TO BE MADE TO THE DESIGN THE ARCHITECT IS TO BE NOTIFIED BEFORE SAID CHANGES ARE MADE.

### GRAPHIC SYMBOL LEGEND

	NEW WALL TO BE CONSTRUCTED
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	PARTITION TYPE
	DOOR SYMBOL
	WINDOW SYMBOL
	SMOKE DETECTOR
	CARBON MONOXIDE / SMOKE DETECTOR
	SECTION DETAIL REFERENCE

DATE: 05/15/23  
SCALE: AS NOTED  
DRAWN BY: SK  
CHECKED BY: NRH

47 Manfield Street  
Everett, MA 02149  
(857) 312 9212



REVISION:	DATE:

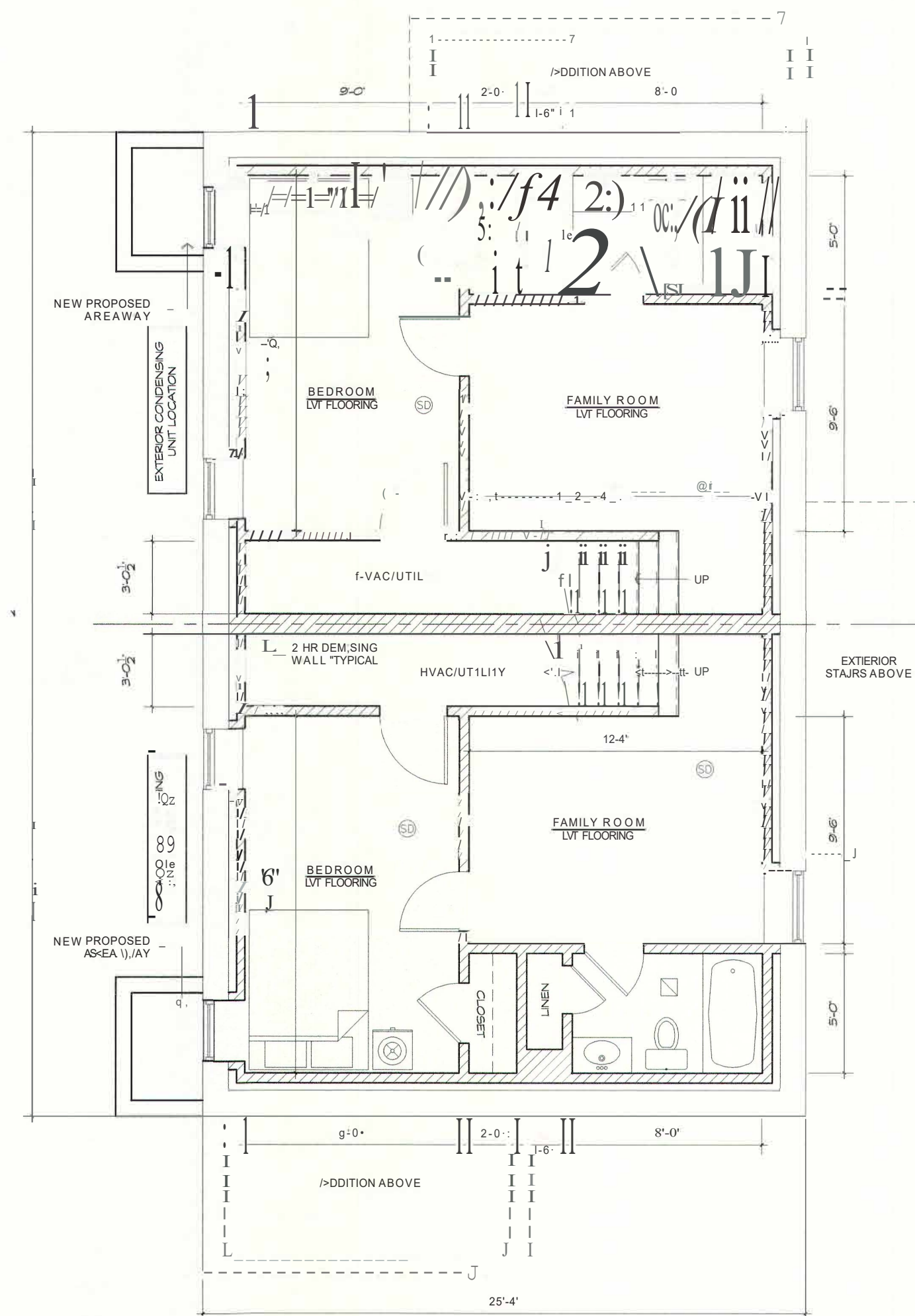
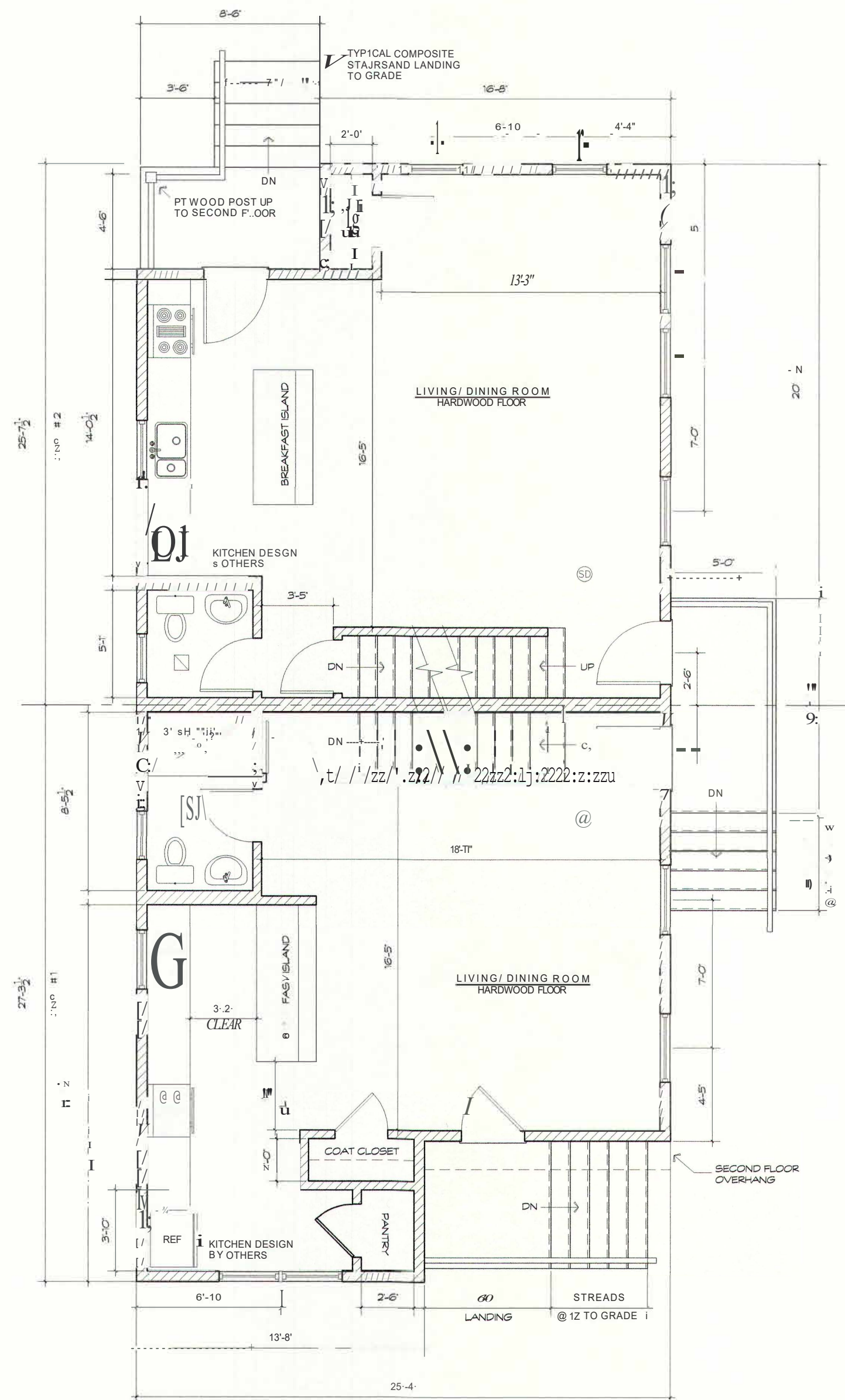
DRAWING TITLE:

COVER PAGE

SHEET NUMBER:


**T-1**





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DATE: 05/15/23  
SCALE: AS NOTED  
DRAWN BY: SK  
CHECKED BY: NRI


  
 47 Manfield Street  
 Everett, MA 02149  
 (857) 312 9212



REVISION:      DATE:

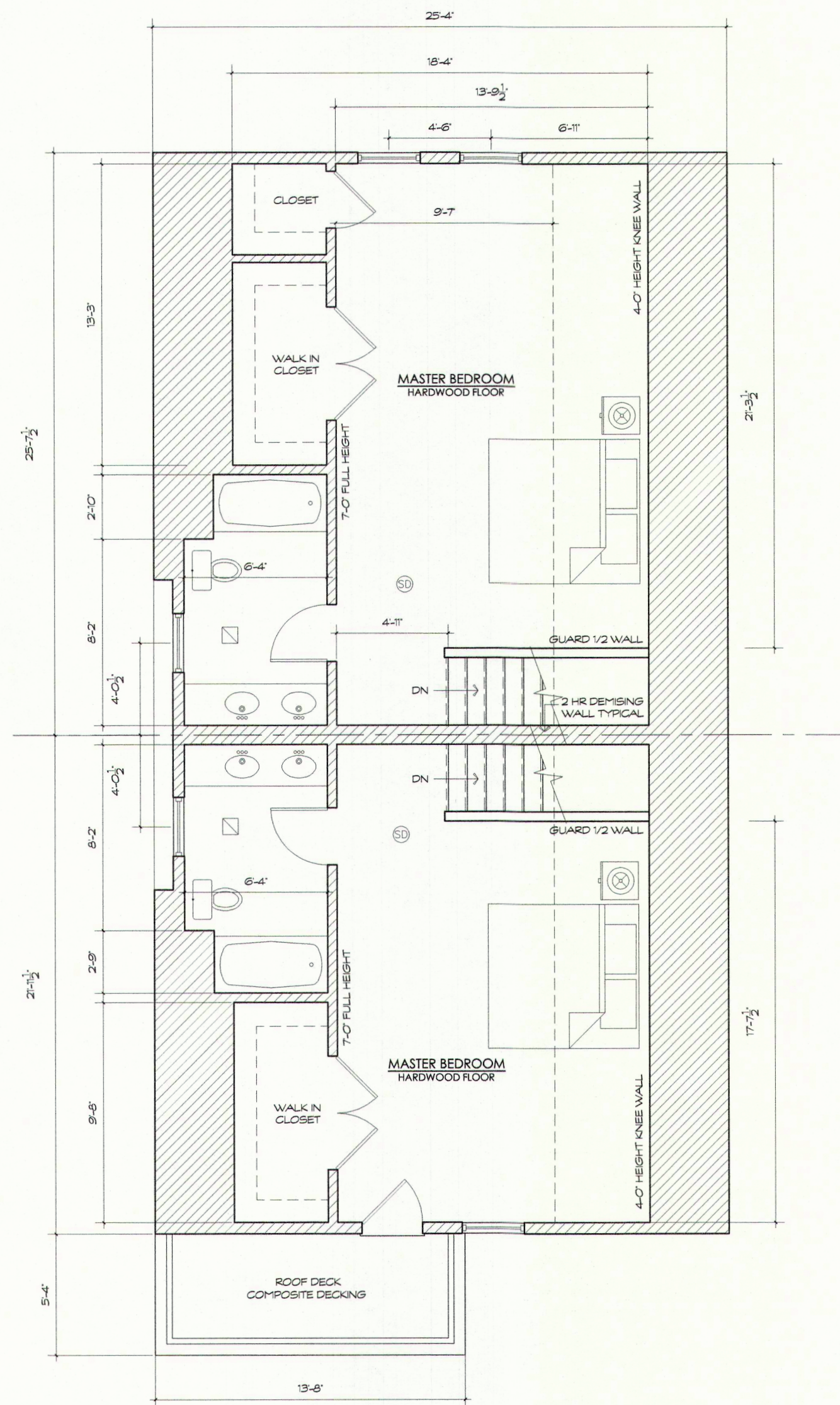
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## PROPOSED PLANS

SHEET NUMBER:

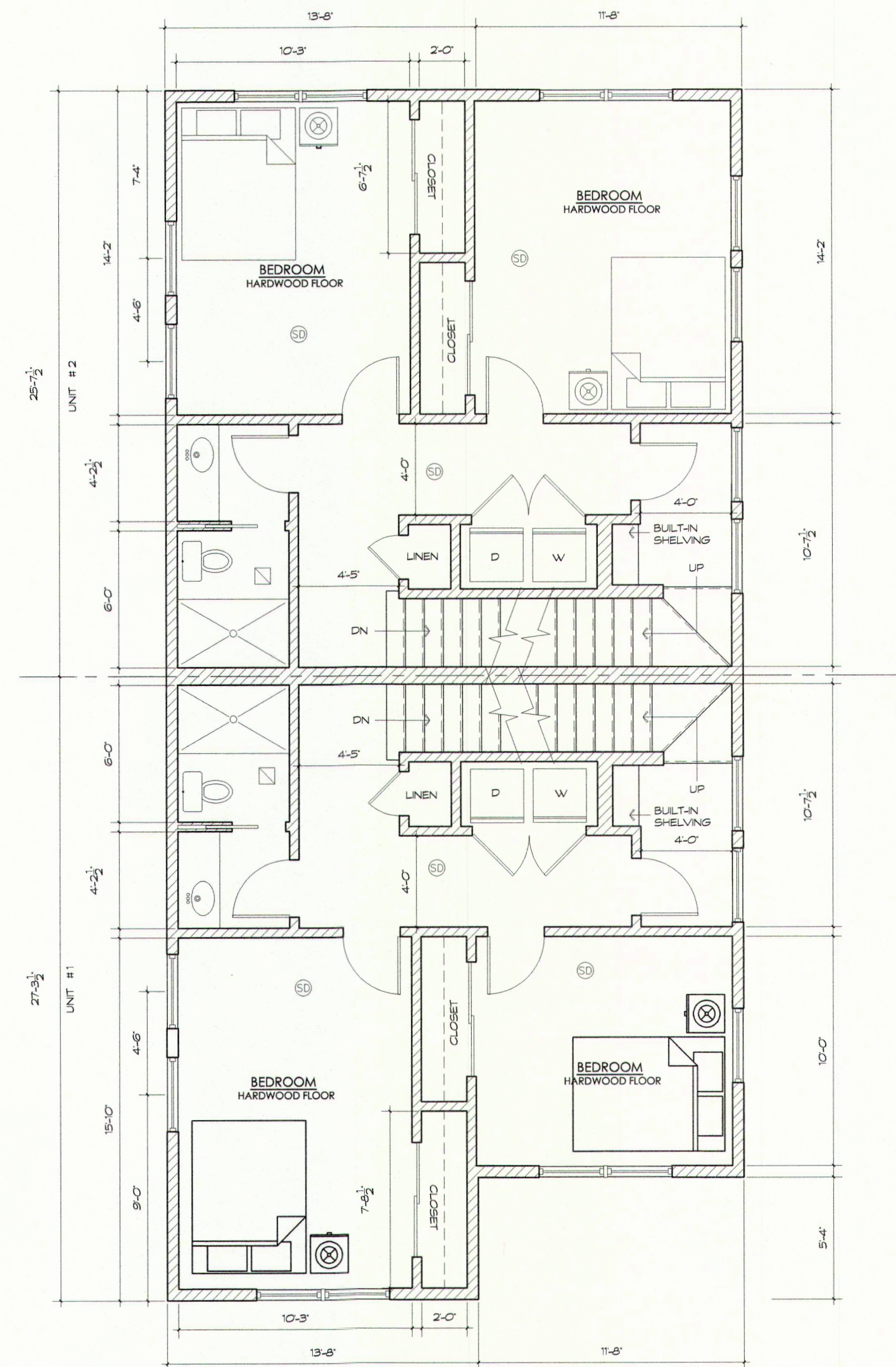
# A-1





Proposed Third Floor Plan

SCALE: 3/16" = 1'-0"



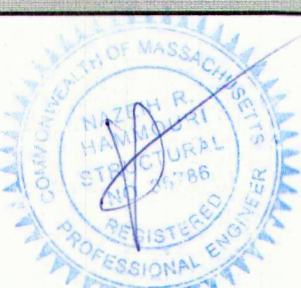
Proposed Second Floor Plan

SCALE: 3/16" = 1'-0"

Proposed Addition / Renovation  
38-40 Milton Street  
Arlington, MA 02474

DATE: 05/15/23  
SCALE: AS NOTED  
DRAWN BY: SK  
CHECKED BY: NRH

**HAZEL H** AMMOURI P.E.  
PROFESSIONAL ENGINEERING  
47 Manfield Street  
Everett, MA 02149  
(857) 312 9212



REVISION:	DATE:

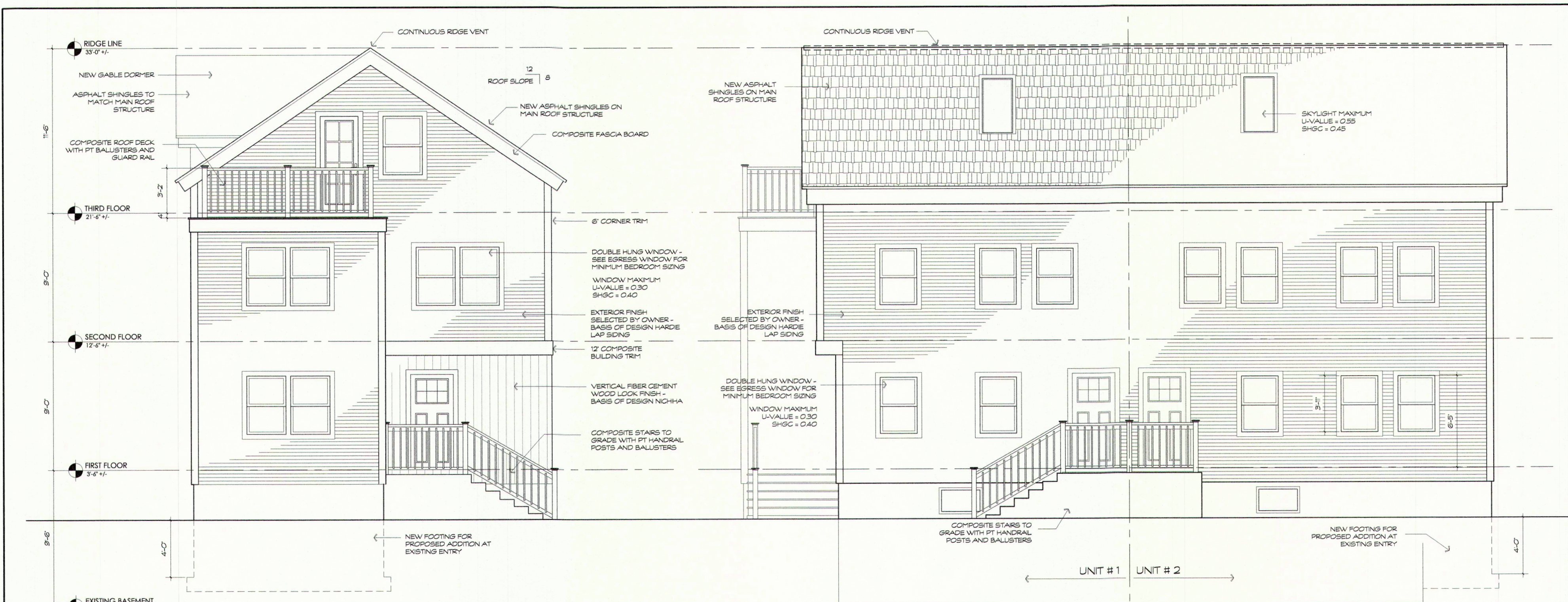
DRAWING TITLE:

PROPOSED PLANS

SHEET NUMBER:

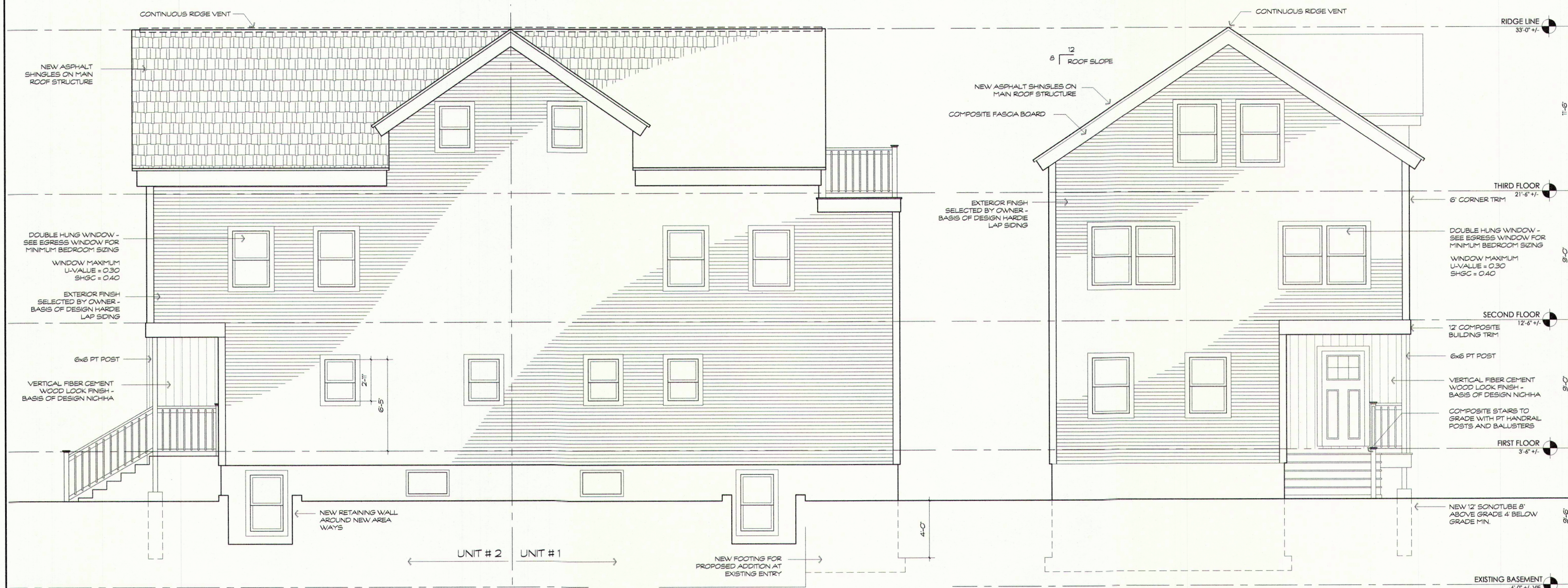
**A-2**





PROPOSED FRONT ELEVATION  
SCALE: 3/16" = 1'-0"

PROPOSED SIDE ELEVATION  
SCALE: 3/16" = 1'-0"



PROPOSED SIDE ELEVATION  
SCALE: 3/16" = 1'-0"

PROPOSED REAR ELEVATION  
SCALE: 3/16" = 1'-0"

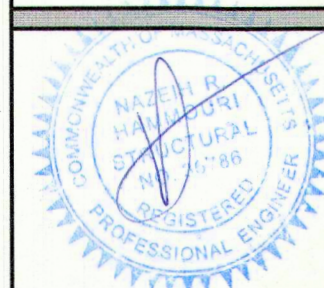
Proposed Addition / Renovation  
38-40 Milton Street  
Arlington, MA 02474

DATE: 05/15/23

SCALE: AS NOTED

DRAWN BY: SK  
CHECKED BY: NRH

**N** AZEIH **H**AMMOURI P.E.  
PROFESSIONAL ENGINEERING  
47 Manfield Street  
Everett, MA 02149  
(857) 312 9212



REVISION: DATE:

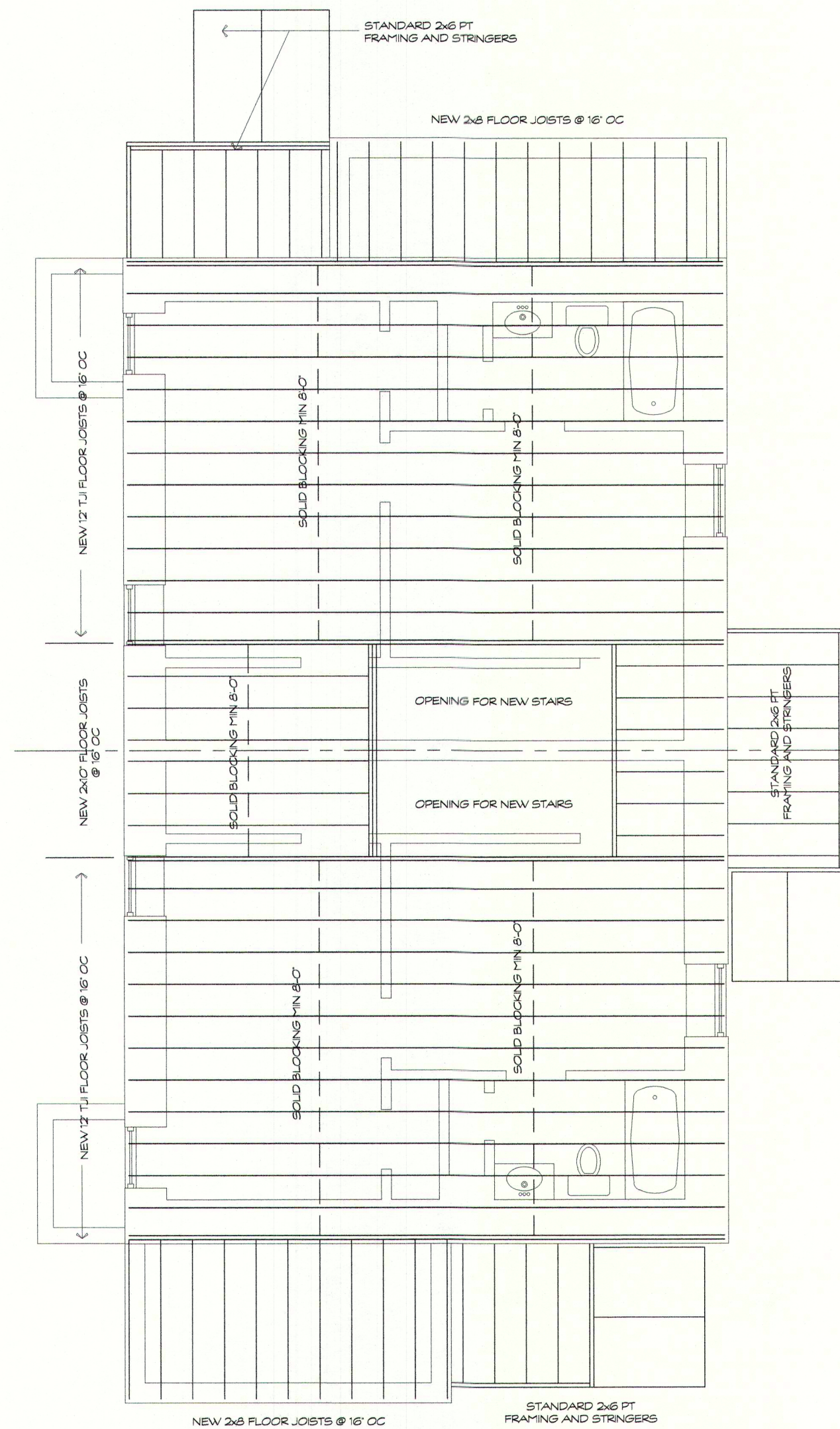
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PROPOSED  
ELEVATIONS

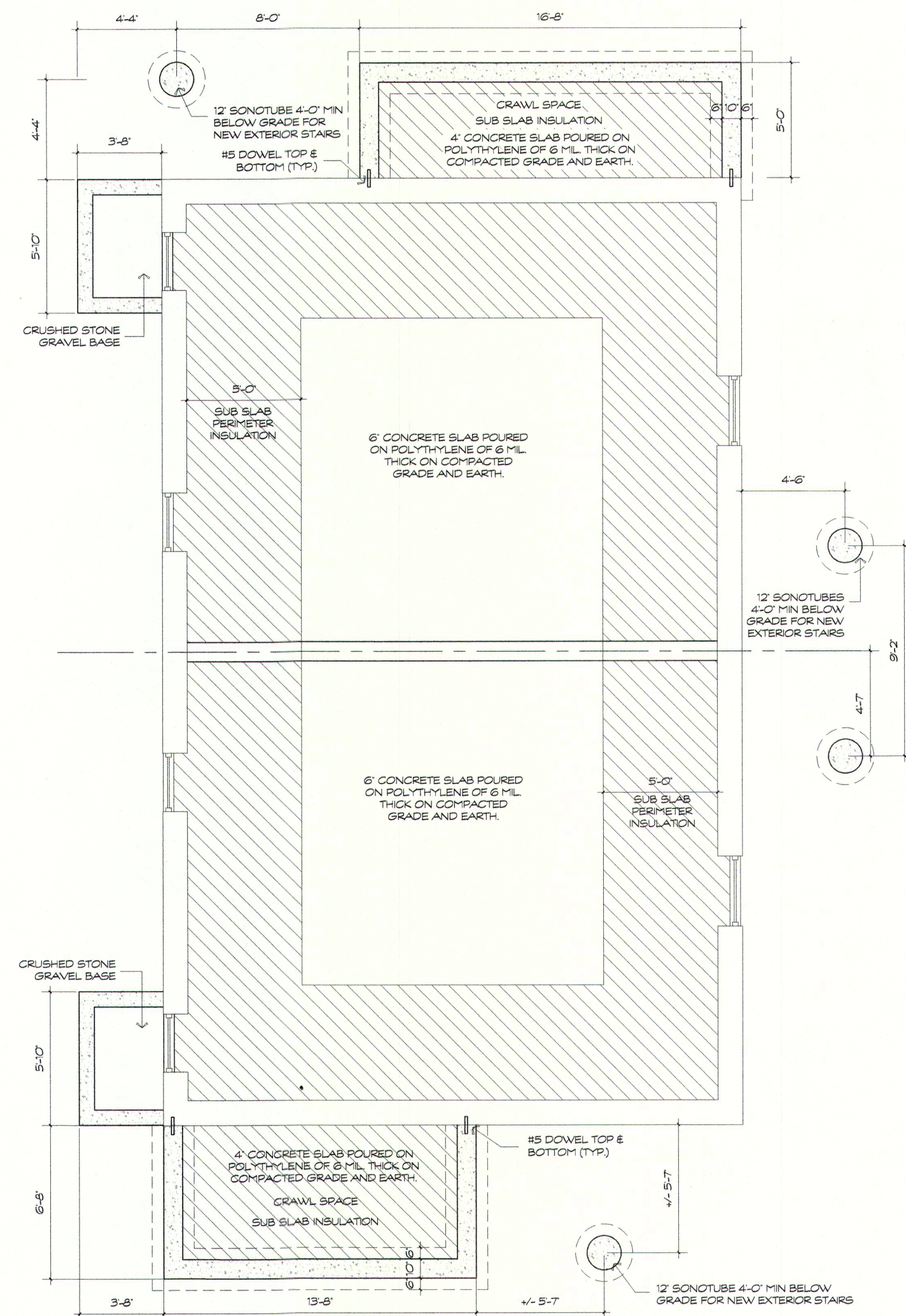
SHEET NUMBER:

**A-3**





FIRST FLOOR FRAMING  
SCALE: 3/16" = 1'-0"



PROPOSED FOUNDATION PLAN  
SCALE: 3/16" = 1'-0"

Proposed Addition / Renovation  
38-40 Milton Street  
Arlington, MA 02474

DATE: 05/15/23  
SCALE: AS NOTED  
DRAWN BY: SK  
CHECKED BY: NRH

**N** AZEIH HAMMOURI P.E.  
PROFESSIONAL ENGINEERING  
47 Manfield Street  
Everett, MA 02149  
(857) 312 9212



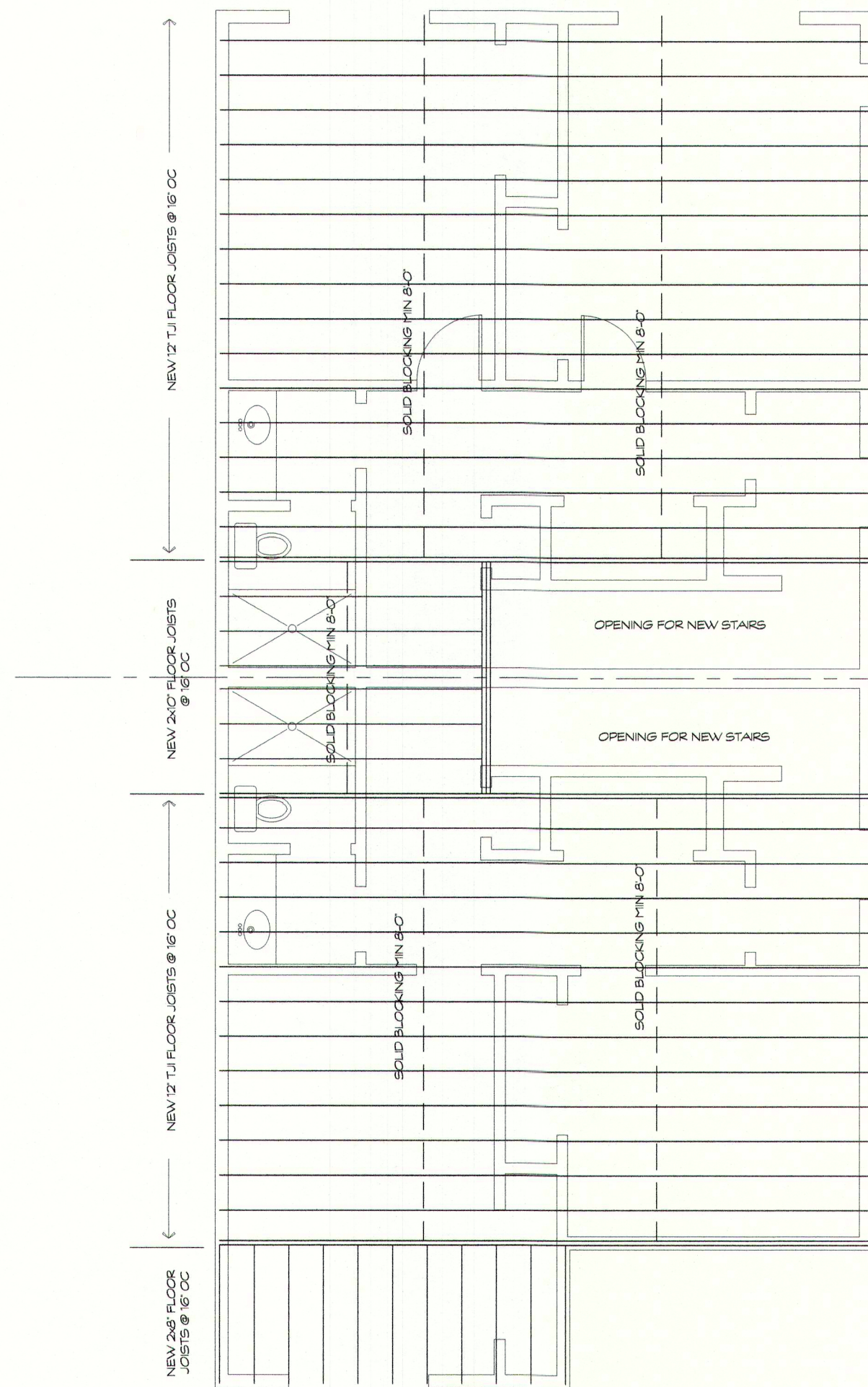
REVISION:	DATE:

DRAWING TITLE:  
  
PROPOSED FRAMING  
PLANS

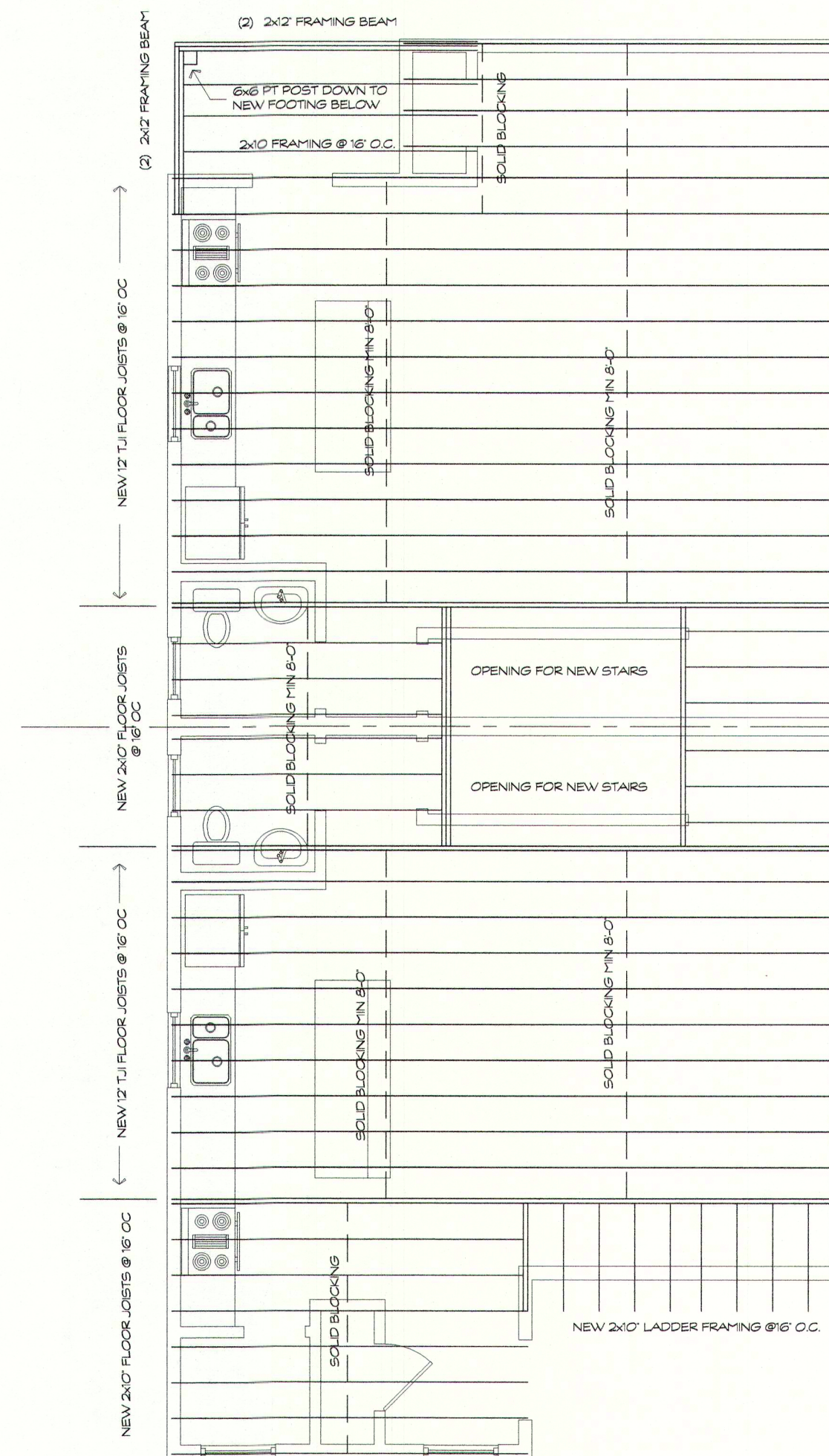
SHEET NUMBER:

**A-4**





THIRD FLOOR FRAMING  
SCALE: 3/16" = 1'-0"



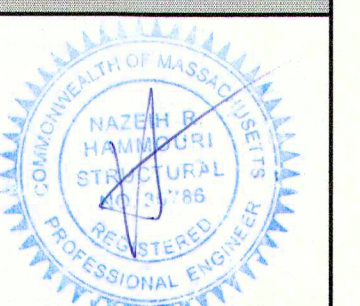
SECOND FLOOR FRAMING  
SCALE: 3/16" = 1'-0"

Proposed Addition / Renovation  
38-40 Milton Street  
Arlington, MA 02474

DATE: 05/15/23  
SCALE: AS NOTED  
DRAWN BY: SK  
CHECKED BY: NRH

**N** AZEIH **H** AMMOURI P.E.  
PROFESSIONAL ENGINEERING

47 Manfield Street  
Everett, MA 02149  
(857) 312 9212



REVISION:	DATE:

DRAWING TITLE:  
  
PROPOSED FRAMING  
PLANS

SHEET NUMBER:  
  
**A-5**





TOWN OF ARLINGTON  
Inspectional Services Department  
23 Maple Street  
Arlington, Massachusetts 02476  
Office (781) 316.3390  
*inspectionalservices@town.arlington.ma.us*

## MEMORANDUM

To: Zoning Board of Appeals  
From: Mike Ciampa, Director of Inspectional Services  
Date: April 30, 2024  
Re: Inspectional Services Memo

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### **Docket #3790 38-40 Milton Street**

This property is a two-family dwelling in an R2 residential zoning district. The applicant is seeking permission to extend and enclose the first-floor open porch. The applicant is seeking a Special Permit under Section 5.3.9 D Projections into Minimum Yards, as the existing porch projects into the front setback. The second floor will also be replaced and extended at a less nonconforming projection than the existing porch.

The applicant also proposes to enclose the rear porches, which do not project into the rear setback. Inspectional Services believes that the large triangular area in the rear yard meets the usable open space requirement. While Inspectional Services has used triangles for usable open space in the past, the applicant has been informed that the Zoning Board of Appeals will need to determine whether the open space requirement has been met.





## Town of Arlington, Massachusetts

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### Docket #3787 84 Hillside Avenue (continuance)

#### ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	#3787_84_Hillside_Avenue_Legal_ad.pdf	#3787 84 Hillside Avenue Legal ad
▢ Reference Material	#3787_84_Hillside_Avenue_application.pdf	#3787 84 Hillside Avenue Application
▢ Reference Material	#3787_84_Hillside_Plot_Plan.pdf	#3787 84 Hillside Plot Plan
▢ Reference Material	#3787_84_Hillside_Photos.pdf	#3787 84 Hillside Photos
▢ Reference Material	82-84_Hillside_Driveway_ISD_Photos_-_2023.12.12.pdf	82-84 Hillside Driveway ISD Photos - 2023.12.12



Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
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781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

## LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **Mei Cheng and Alan Ching** of Arlington, MA. on March 26, 2024, a petition seeking to alter their property located at **84 Hillside Avenue - Block Plan 167.0-0004-0013.0**. Said petition would require a **Special Permit** under **6.1.10 A** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M on April 30, 2024, as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**  
<https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

**For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

**DOCKET NO 3787**

Zoning Board of Appeals  
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**



## SP-24-5

Special Use Permit  
Application (ZBA)

Status: Active

Submitted On: 2/21/2024

### Primary Location

84 HILLSIDE AVE  
Arlington, MA 02476

### Owner


CHENG MEI KING; CHING  
ALAN  
Hillside Ave 84 ARLINGTON,  
MA 02476

### Applicant

 Al Patterson  
 603-300-2323  
a.e.p.constructionnh@gmail.com  
 548 Lafayette Rd  
Hampton , New  
Hampshire 03842

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## Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw. \*\*\*Please LIST BYLAW(S)\*\*\*\* 

The property is on hillside.

**Explain why the requested use is essential or desirable to the public convenience or welfare.\***

It is Safty for the elderly to get access to there home, it will help keep cars from parking in front of other nabors home during street parking

**Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.\***

It will help keep cars off street from parking open the road up for more safe visible driving, we will maintain/improve any abutting sidewalk for pedestrian safe walking.

**Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.\***

The water is draining back into the hillside property & I believe we are help releveing some of the town water.

**Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.\***

The driveway is less then 20 feet

**Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.\***

It is simply parking spot for elderly tenants.

**Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.\***

It is a small clean neat driveway for Safty of the elderly, it will help improve property value. It will help open up street parking and make easy ire for street sweeping.

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## Dimensional and Parking Information

**Present Use/Occupancy \***

Multi

**Proposed Use/Occupancy \***

Multi

**Existing Number of Dwelling Units\***

3

**Proposed Number of Dwelling Units\***

3

Existing Gross Floor Area (Sq. Ft.)\*

4000

Proposed Gross Floor Area (Sq. Ft.)\*

4000

Existing Lot Size (Sq. Ft.)\*

11000

Proposed Lot Size (Sq. Ft.)\* 

11000

Minimum Lot Size required by Zoning\*

4000

Existing Frontage (ft.)\*

100

Proposed Frontage (ft.)\*

110

Minimum Frontage required by Zoning\*

50

Existing Floor Area Ratio\*

0

Proposed Floor Area Ratio\*

0

Max. Floor Area Ratio required by Zoning\*

0

Existing Lot Coverage (%)\*

21

Proposed Lot Coverage (%)\*

3

Max. Lot Coverage required by Zoning\*

80

Existing Lot Area per Dwelling Unit (Sq. Ft.)\*

11000

Proposed Lot Area per Dwelling Unit (Sq. Ft.)\*

11000

Minimum Lot Area per Dwelling Unit required by Zoning\*

11000

Existing Front Yard Depth (ft.)\*

100

Proposed Front Yard Depth (ft.)\*

100

Minimum Front Yard Depth required by Zoning\*

0

Existing Left Side Yard Depth (ft.)\*

110

Proposed Left Side Yard Depth (ft.)\*

110

Minimum Left Side Yard Depth required by Zoning\*

0

Existing Right Side Yard Depth (ft.)\*

100

Proposed Right Side Yard Depth (ft.)\*

100

Minimum Right Side Yard Depth required by Zoning\*

0

Existing Rear Yard Depth (ft.)\*

110

Proposed Rear Yard Depth (ft.)\*

110

Minimum Rear Yard Depth required by Zoning\*

0

Existing Height (stories)

0

Proposed Height (stories)\*

0

Maximum Height (stories) required by Zoning\*

0

Existing Height (ft.)\*

0

Proposed Height (ft.)\*

0

Maximum Height (ft.) required by Zoning\*

0

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)\*

20

Proposed Landscaped Open Space (Sq. Ft.)\*

20

Existing Landscaped Open Space (% of GFA)\*

20

Proposed Landscaped Open Space (% of GFA)\*

20

Minimum Landscaped Open Space (% of GFA)  
required by Zoning\*

0

Existing Usable Open Space (Sq. Ft.)\*

0

Proposed Usable Open Space (Sq. Ft.)\*

0

Existing Usable Open Space (% of GFA)\*

0

Proposed Usable Open Space (% of GFA)\*

0

Minimum Usable Open Space required by Zoning\*

0

Existing Number of Parking Spaces\*

2

Proposed Number of Parking Spaces\*

2

Minimum Number of Parking Spaces required by  
Zoning\*

0

Existing Parking area setbacks

0

Proposed Parking area setbacks \*

0

Minimum Parking Area Setbacks required by  
Zoning\*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces\*

0

Minimum Number of Loading Spaces required by  
Zoning\*

0

Existing Slope of proposed roof(s) (in. per ft.)\*

0

Proposed Slope of proposed roof(s) (in. per ft.)\*

0

Minimum Slope of Proposed Roof(s) required by Zoning\*

0

Existing type of construction\*

Pavement

Proposed type of construction\*

20 foot Driveway

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## Open Space Information

Existing Total Lot Area\*

11000

Proposed Total Lot Area\*

11000

Existing Open Space, Usable\*

20

Proposed Open Space, Usable\*

20

Existing Open Space, Landscaped\*

20

Proposed Open Space, Landscaped\*

20

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## Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

20

Accessory Building, Proposed Gross Floor Area

20

Basement or Cellar, Existing Gross Floor Area 

0

Basement or Cellar, Proposed Gross Floor Area

0

1st Floor, Existing Gross Floor Area

1000

New Field

—



1st Floor, Proposed Gross Floor Area

1000

2nd Floor, Existing Gross Floor Area

1000

2nd Floor, Proposed Gross Floor Area

1000

3rd Floor, Existing Gross Floor Area

500

3rd Floor, Proposed Gross Floor Area

500

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

0

Attic, Proposed Gross Floor Area

0

Parking Garages, Existing Gross Floor Area ?

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies,  
Existing Gross Floor Area

0

All weather habitable porches and balconies,  
Proposed Gross Floor Area

0

Total Existing Gross Floor Area

2520



Total Proposed Gross Floor Area

2520



## MASSACHUSETTS

# SURVEY

**CONSULTANTS, LLC**

47 SPRUCE ST.

14 SUMNER STREET  
GLOUCESTER, MA 01930  
617 899-0703  
WWW.MASSACHUSETTSSURVEY.COM



DEED: BOOK 80674, PAGE 538  
PLANS: 21-2; 4861-END; 239-12

THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND IN MARCH OF 2024 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

# HILLSIDE AVENUE

(PUBLIC 50' WIDE)



DATE: MARCH 27, 2024



Done



**84 Hillside Ave**  
Arlington Heights, Arlington



10:14

Done

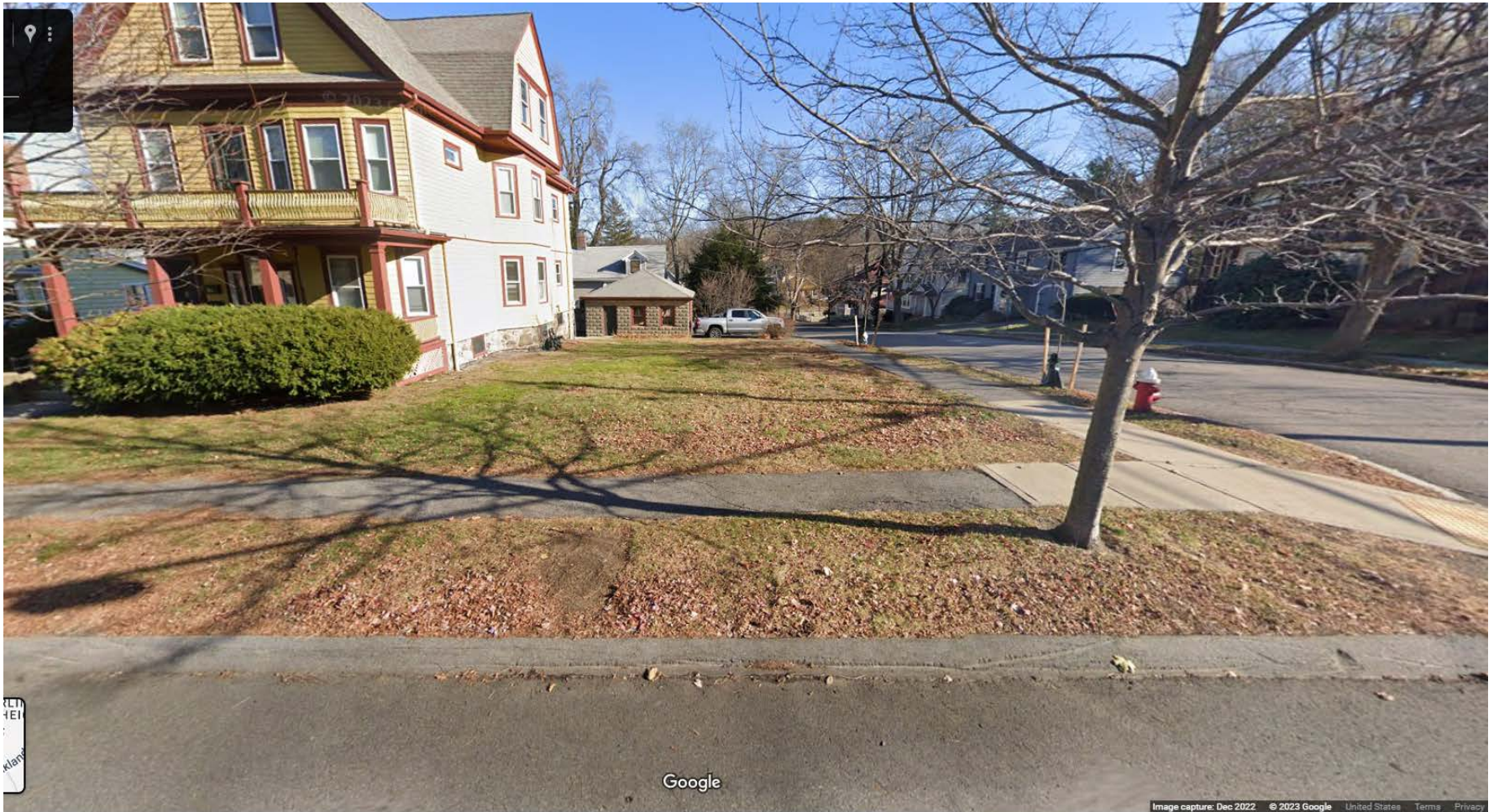


**84 Hillside Ave**  
Arlington Heights, Arlington 31 of 34



**82-84 Hillside Avenue – Second Driveway Installation December 2023**

**December 2022 Street View**





December 2023 Street View Following Installation of Second Driveway





Original Driveway Street View December 2022

